

## Page 1: DRC Site Plan - Applicant Information Sheet

**INSTRUCTIONS:** The following information is requested pursuant to the City's Unified Land Development Regulations (ULDR). The application must be filled out accurately and completely. Please print or type and answer all questions. Indicate N/A if does not apply.


**NOTE:** To be filled out by Department

Case Number	
Date of complete submittal	

**NOTE:** For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

Property Owner's Name	MCS Enterprises, LLC
Property Owner's Signature	If a signed agent letter is provided, no signature is required on the application by the owner.
Address, City, State, Zip	1000 S. Point Drive #1701
E-mail Address	robsherm@bellsouth.net
Phone Number	305-586-7787
Proof of Ownership	<input checked="" type="checkbox"/> Warranty Deed or <input type="checkbox"/> Tax Record

**NOTE:** If **AGENT** is to represent **OWNER**, notarized letter of consent is required

Applicant / Agent's Name	Robert Sherman
Applicant / Agent's Signature	
Address, City, State, Zip	1900 NE 193rd Street N. Miami Beach, FL 33179
E-mail Address	robsherm@bellsouth.net
Phone Number	305-586-7787
Letter of Consent Submitted	yes

Development / Project Name	MCS Cluster Homes
Development / Project Address	<u>Existing:</u> 2360-2370 SW 18th Avenue <u>New:</u>
Legal Description	Osceola Park 9-46 B lot6, 7, 8 block 8
Tax ID Folio Numbers (For all parcels in development)	504216 10 0750
Request / Description of Project	Cluster Homes, DRC review and approval
Total Estimated Cost of Project	\$ 1,300,000 (Including land costs)

**NOTE:** Park impact fees are assessed and collected at time of permit per each new hotel room and dwelling unit type.

Estimated Park Impact Fee	\$ 12,025	Fee Calculator: <a href="http://ci.ftlaud.fl.us/building_services/park_impact_fee_calc.htm">http://ci.ftlaud.fl.us/building_services/park_impact_fee_calc.htm</a>
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Current Land Use Designation	medium
Proposed Land Use Designation	Medium high (no change to designation)
Current Zoning Designation	RD-15
Proposed Zoning Designation	RD-15 (no change to designation)
Current Use of Property	single family residence
Number of Residential Units	5 units
Non-Residential SF (and Type)	NA
Total Bldg. SF (include structured parking)	11,348
Site Adjacent to Waterway	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Dimensional Requirements	Required	Proposed
Lot Size (SF / Acreage)	3,000 sf/unit=15,000 sq. ft	16,470 sq. ft. +/- .378 acre
Lot Density	15 units/acre	14 units/acre
Lot Width	ULDR Section 47-18.9	135 ft.
Building Height (Feet / Levels)	35 ft.	35 ft.
Structure Length	none	88'-0" & 64'-4"
Floor Area Ratio	NA	11348/16470=0.689
Lot Coverage	NA	6349/16470=0.388
Open Space	NA	10,238 sq. ft. (62.1%)
Landscape Area	NA	5720 sq. ft. (34.7%)
Parking Spaces	10 spaces (5 X 2)	15 spaces

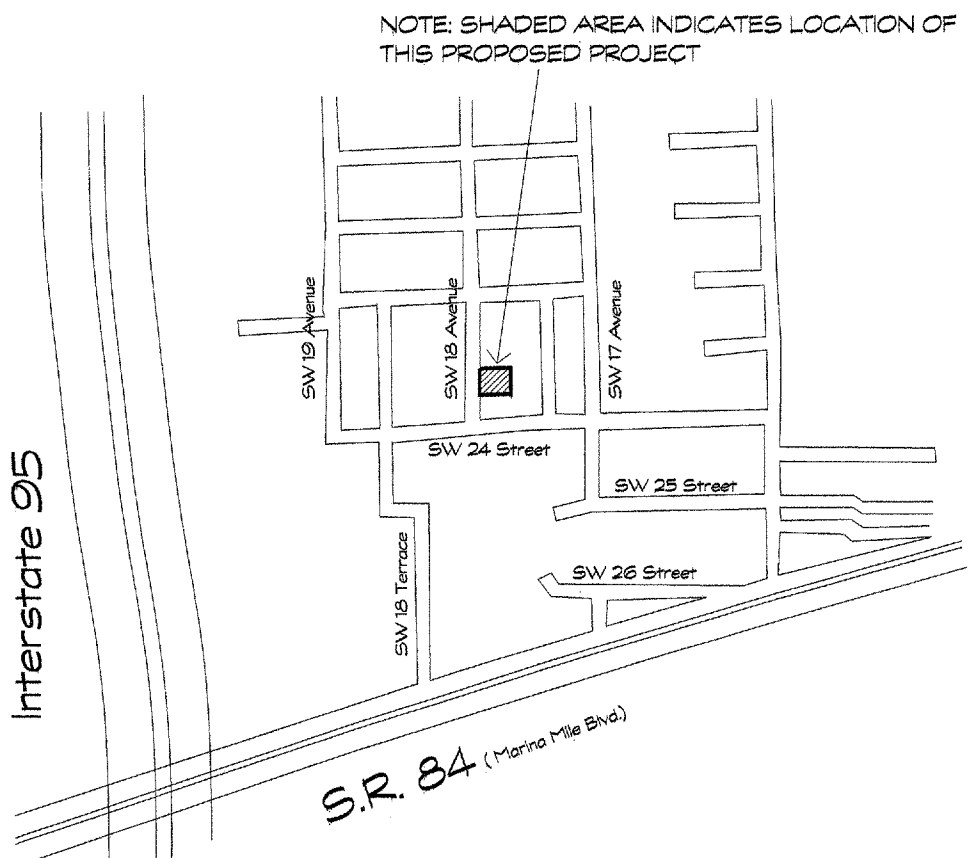
Setbacks (indicate direction N,S,E,W)	Required	Proposed
Front [ W ]	25'	25' (not including porch)
Side [ N ]	10'	10'
Side [ S ]	10'	10'
Rear [ E ]	15'	15' (not including porch)medium





# Index of Drawings:

TITLE SHEET	GEOGRAPHIC MAP, DRAWING INDEX
PLAT	PLAT PLAN w/ PROJECT LOCATION
AERIAL	AERIAL PLAN w/ PROJECT LOCATION
SP-1	SITE PLAN
SP-2	SITE IMPROVEMENT DETAILS
SP-3	CLUSTER DEVELOPMENT ADDITIONAL SETBACK PLAN AND ELEVATIONS
SP-4	SURROUNDING PROPERTIES PLAN AND PHOTOGRAPHS
SP-5	PHOTOMETRIC SITE LIGHTING PLAN
SP-6	PROJECT CROSS SECTIONS
SP-7	CONSTRUCTION STAGING PLAN
A-1	FIRST FLOOR PLAN / BUILDING ONE
A-2	SECOND FLOOR PLAN / BUILDING ONE
A-3	THIRD FLOOR PLAN / BUILDING ONE
A-4	FRONT (NORTH) & RIGHT SIDE (WEST) ELEVATIONS / BUILDING ONE
A-5	REAR (SOUTH) & LEFT SIDE (EAST) ELEVATIONS / BUILDING ONE
A-6	CROSS-SECTION A-A' & B-B' / BUILDING ONE
A-7	TYPICAL WALL SECTIONS
A-8	FIRST FLOOR PLAN / BUILDING TWO
A-9	SECOND FLOOR PLAN / BUILDING TWO
A-10	FRONT (SOUTH) & RIGHT SIDE (EAST) ELEVATIONS / BUILDING TWO
A-11	REAR (NORTH) & LEFT SIDE (WEST) ELEVATIONS / BUILDING TWO
A-12	CROSS-SECTION C-C' & D-D' / BUILDING TWO
A-13	DOOR & WINDOW SCHEDULES, DETAILS
L-1	TREE SURVEY / LANDSCAPE PLAN

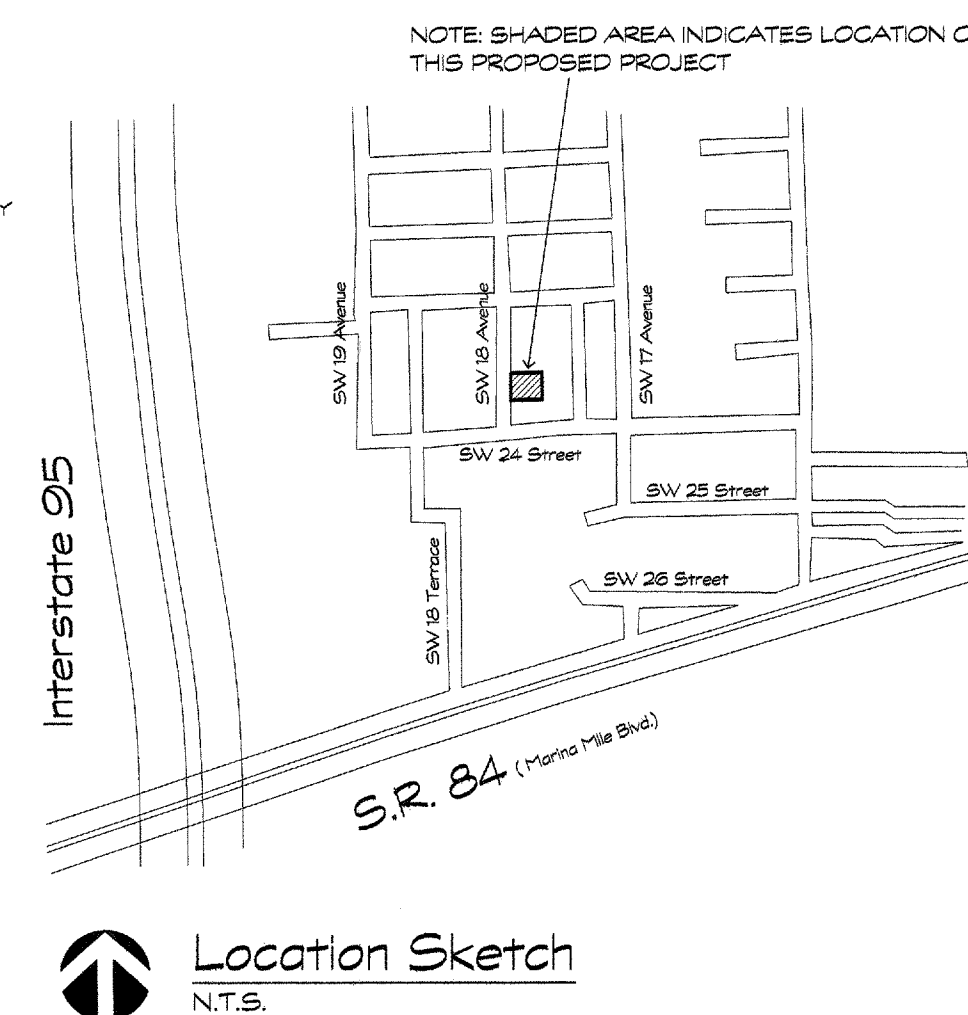


Location Sketch  
N.T.S.

MCS Cluster Homes  
2354 S.W. 18 AVENUE, FORT LAUDERDALE, FLORIDA 33315

robert vick architect  
architecture planning and design  
16 n.e. 4th street suite 240, fort lauderdale, florida 33301 954-463.6340





### ADDITIONAL FACADE SETBACK:

#### Front Elevation (North) / Building One

SCALE: 1/8" = 1'-0"  
Total Facade Area: 1938 s.f. (100%)  
Facade Area @ Additional Min. 5' Setback (Min. 25% Required): 854 s.f. (44.1%)

#### Rear Elevation (South) / Building One

SCALE: 1/8" = 1'-0"  
Total Facade Area: 2084 s.f. (100%)  
Facade Area @ Additional Min. 10' Setback (Min. 25% Required): 548 s.f. (26.5%)

#### Front Elevation (South) / Building Two

SCALE: 1/8" = 1'-0"  
Total Facade Area: 1215 s.f. (100%)  
Facade Area @ Additional Min. 5' Setback (Min. 25% Required): 325 s.f. (26.7%)

#### Rear Elevation (North) / Building Two

SCALE: 1/8" = 1'-0"  
Total Facade Area: 1371 s.f. (100%)  
Facade Area @ Additional Min. 10' Setback (Min. 25% Required): 481 s.f. (35.1%)

### SITE DATA:

CURRENT USE: SINGLE FAMILY RESIDENCE  
EXISTING DENSITY: 2.64 UNITS / ACRE  
(ONE UNIT / .378 ACRE)

PROPOSED TOTAL FLOOR AREA: 11348 s.f.  
PROPOSED TOTAL DWELLING UNITS: 5 UNITS  
DENSITY: PROVIDED 14 D.U. / NET ACRE  
ALLOWED 15 D.U. / NET ACRE

BUILDING ONE: 82'-0" LONG  
BUILDING TWO: 61'-4" LONG  
NUMBER OF STORES: 2 & 3 STORES  
TOTAL PARKING (REQUIRED): 10 SPACES  
5 units @ 2 spaces per unit  
TOTAL PARKING (PROVIDED): 15 SPACES  
LAND USE DESIGNATION: MEDIUM  
ZONING CATEGORY: RD-15  
SETBACK TABLE

	REQUIRED	PROVIDED
Front Yard Setback (West)	25'-0"	25'-0"
Side Yard Setback (North)	5'-0"	10'-0"
Side Yard Setback (South)	5'-0"	10'-0"
Rear Yard Setback (East)	15'-0"	15'-0"

NET SITE AREA: 16470 s.f. (+/- .378 ACRE)  
Min. Lot Size Required: 15000 s.f. (3000 / D.U.)

Vehicle Use Area (VUA): 3844 s.f.

Total Landscape Area: 5720 s.f.

Floor Area Ratio: 11348 / 16470 = 0.689

Lot Coverage: 6396 / 16470 = 0.388

Total Building Coverage: 6242 s.f. (37.9%)

Total Green Area: 5720 s.f. (34.7%)

Total Paved Area w/ walkways: 4508 s.f. (27.4%)

HEIGHT: 35'-0" (MAX 35' ALLOWED)

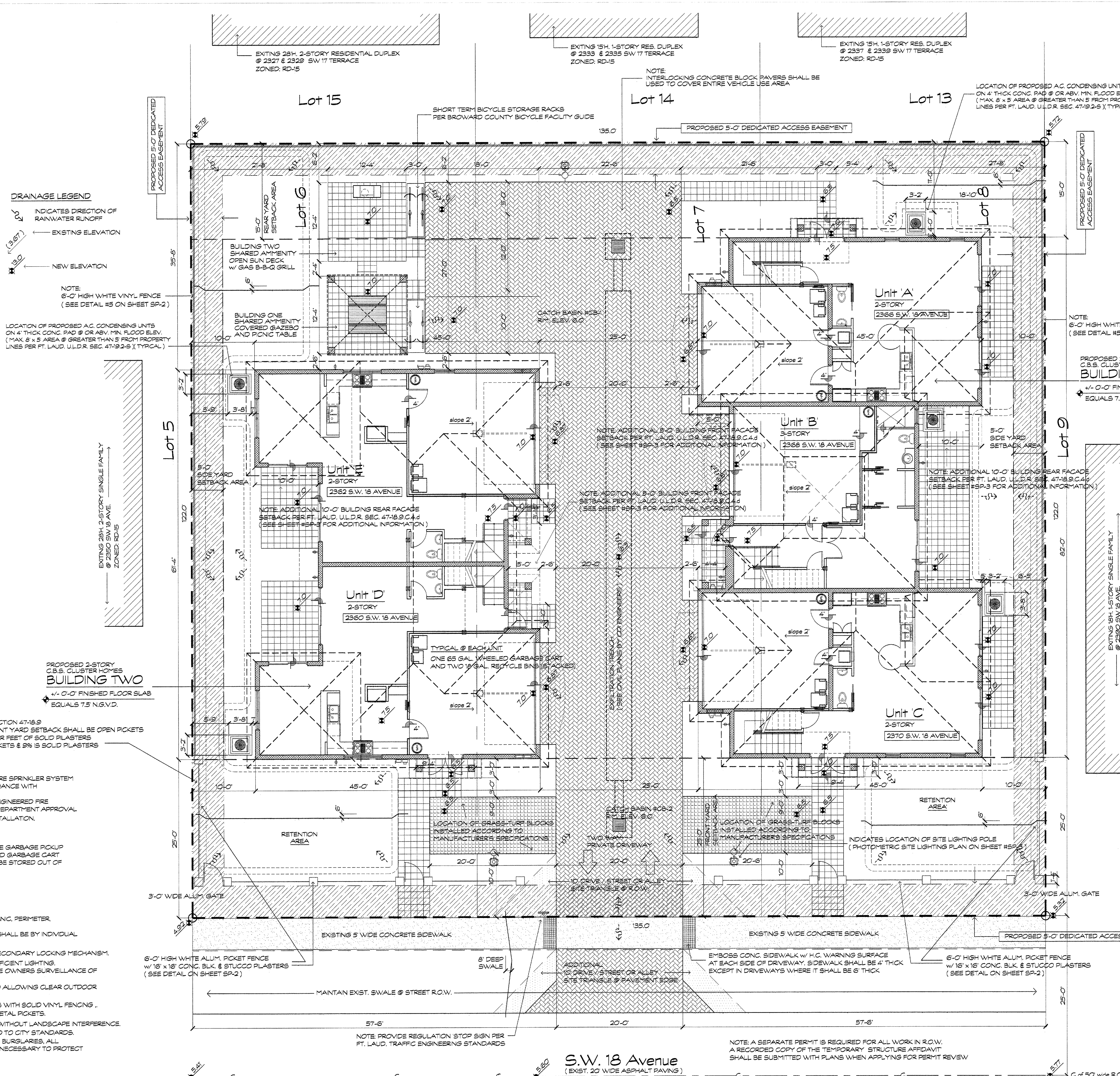
WATER / SEWER: CITY OF FT. LAUDERDALE



LEGAL DESCRIPTION: LOTS 6, 7 & 8, BLOCK 8, OF "OSCOLA PARK", ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 9, PAGE 48, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, SAID LAND SITUATE, LYING, AND BEING IN BROWARD COUNTY, FLORIDA

STREET ADDRESS: 2354 SW 18 AVENUE, FORT LAUDERDALE, FLORIDA 33315

FLOOD ZONE: AE BASE FLOOD ELEVATION: 7.0 N.G.V.D.



**DRAINAGE LEGEND**  
INDICATES DIRECTION OF RAINWATER RUNOFF  
EXISTING ELEVATION  
NEW ELEVATION

NOTE: 6'-0" HIGH WHITE VINYL FENCE (SEE DETAIL #5 ON SHEET SP-2)  
LOCATION OF PROPOSED A.C. CONDENSING UNITS ON 4" THICK CONC. PAD @ OR ABV. MIN. FLOOD ELEV. (MAX. 6' x 5' AREA @ GREATER THAN 5' FROM PROPERTY LINES PER FT. LAUD. U.L.D.R. SEC. 47-19.2-5 (TYPICAL))

PROPOSED 2-STORY C.B.S. CLUSTER HOMES BUILDING TWO  
+/- 0'-0" FINISHED FLOOR SLAB  
EQUALS 7.5 N.G.V.D.

### PICKET FENCE CALCULATIONS:

IN ACCORDANCE WITH FORT LAUDERDALE U.L.D.R. SECTION 47-19.2-5 A MINIMUM OF 75% OF FENCING IN THE REQUIRED FRONT YARD SETBACK SHALL BE OPEN PICKETS 175 LINEAR FEET OF PICKET FENCE CONTAINS 16 LINEAR FEET OF SOLID PLASTERS 16 / 175 = 0.09 THEREFORE 91% OF FENCE IS OPEN PICKETS & 9% IS SOLID PLASTERS

### FIRE SAFETY NOTES:

NOTE: BUILDING ONE WILL REQUIRE AN AUTOMATIC FIRE SPRINKLER SYSTEM PER F.B.C. SECTION 903.8 AND INSTALLED IN ACCORDANCE WITH F.B.C. SECTION 903.1  
FIRE SPRINKLER SUBCONTRACTOR SHALL PROVIDE ENGINEERED FIRE SPRINKLER SHOP DRAWINGS FOR REVIEW AND FIRE DEPARTMENT APPROVAL SEPARATE PERMIT REQUIRED FOR FIRE SPRINKLER INSTALLATION.

### REFUSE COLLECTION NOTES:

NOTE: CITY OF FT. LAUDERDALE TO PROVIDE CURBSIDE GARBAGE PICKUP EACH DWELLING UNIT TO HAVE ONE 65 GAL. WHEELED GARBAGE CART AND ONE 16 GAL. RECYCLE BIN. ALL CONTAINERS TO BE STORED OUT OF VIEW IN EACH UNIT RESPECTIVE GARAGE.

### PROJECT SECURITY NOTES:

- ALL GLAZING TO BE IMPACT RESISTANT.
- ALL DWELLING UNITS SHALL BE PRE WIRED FOR PANG, PERIMETER, GLASS BREAK, AND MOTION ALARM SYSTEMS. SECURITY SYSTEM ACTIVATION AND MONITORING SHALL BE BY INDIVIDUAL HOMEOWNERS.
- ALL SLIDING OR FRENCH DOORS SHALL HAVE A SECONDARY LOCKING MECHANISM.
- ALL GROUND FLOOR ENTRANCES SHALL HAVE SUFFICIENT LIGHTING. THE LANDSCAPING SHALL NOT INTERFERE WITH THE OWNERS SURVEILLANCE OF THIS OPEN AREA.
- ALL UNIT ENTRY DOORS SHALL BE IMPACT GLAZED ALLOWING CLEAR OUTDOOR OBSERVATION.
- THE PROPERTY SHALL BE FENCED ON THREE SIDES WITH SOLID VINYL FENCING. THE FOURTH SIDE SHALL BE FENCED WITH OPEN METAL PICKETS.
- GAZEBO AREA SHALL BE PROPERLY ILLUMINATED WITHOUT LANDSCAPE INTERFERENCE.
- GARAGE ENTRANCE COURT SHALL BE ILLUMINATED TO CITY STANDARDS.
- DUE TO THE HIGH VOLUME OF CONSTRUCTION SITE BURGLARIES, ALL CONTRACTORS ARE ADVISED TO TAKE THE STEPS NECESSARY TO PROTECT THEIR PROPERTY WHILE ON SITE.

### AREA CALCULATIONS:

Unit 'A'				Unit 'B'				Unit 'C'				Unit 'D'				Unit 'E'			
FIRST FLOOR LIVING	761 S.F.			FIRST FLOOR LIVING	485 S.F.			FIRST FLOOR LIVING	761 S.F.			FIRST FLOOR LIVING	765 S.F.			FIRST FLOOR LIVING	765 S.F.		
SECOND FLOOR LIVING	1036 S.F.			SECOND FLOOR LIVING	799 S.F.			SECOND FLOOR LIVING	1036 S.F.			SECOND FLOOR LIVING	1072 S.F.			SECOND FLOOR LIVING	1072 S.F.		
THIRD FLOOR LIVING	1797 S.F.			THIRD FLOOR LIVING	796 S.F.			THIRD FLOOR LIVING	1797 S.F.			THIRD FLOOR LIVING	1837 S.F.			THIRD FLOOR LIVING	1837 S.F.		
TOTAL CONDITIONED AREA	3594 S.F.			TOTAL CONDITIONED AREA	2080 S.F.			TOTAL CONDITIONED AREA	3594 S.F.			TOTAL CONDITIONED AREA	410 S.F.			TOTAL CONDITIONED AREA	410 S.F.		
GARAGE	389 S.F.			GARAGE	402 S.F.			GARAGE	389 S.F.			GARAGE	410 S.F.			GARAGE	410 S.F.		
TOTAL ENCLOSED AREA	2186 S.F.			TOTAL ENCLOSED AREA	2482 S.F.			TOTAL ENCLOSED AREA	2186 S.F.			TOTAL ENCLOSED AREA	2247 S.F.			TOTAL ENCLOSED AREA	2247 S.F.		

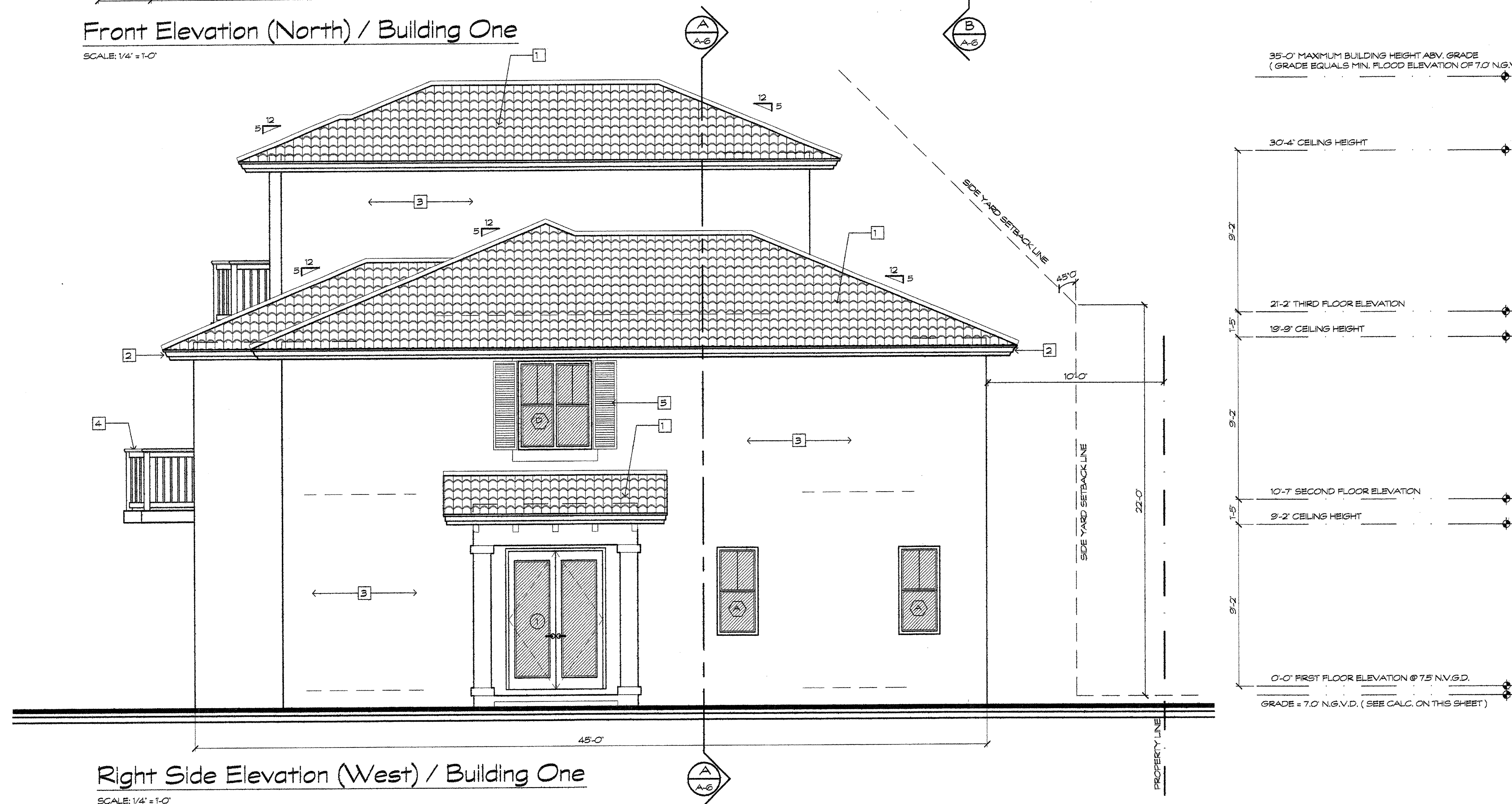
NOTE: CITY OF FT. LAUDERDALE TO PROVIDE CURBSIDE GARBAGE PICKUP EACH DWELLING UNIT TO HAVE ONE 65 GAL. WHEELED GARBAGE CART AND TWO 16 GAL. RECYCLE BINS (STACKED). ALL CONTAINERS TO BE STORED OUT OF VIEW IN EACH UNIT RESPECTIVE GARAGE. ALL LANDSCAPE AREAS TO BE MAINTAINED BY A PRIVATE LANDSCAPE MAINTENANCE COMPANY CONTRACTED BY THE HOMEOWNERS. ALL YARD WASTE TO BE REMOVED BY LANDSCAPE MAINTENANCE COMPANY. THEREFORE NO YARD WASTE CONTAINERS WILL BE SUPPLIED BY THE CITY.





Front Elevation (North) / Building One

SCALE: 1/4" = 1'-0"



Right Side Elevation (West) / Building One

SCALE: 1/4" = 1'-0"

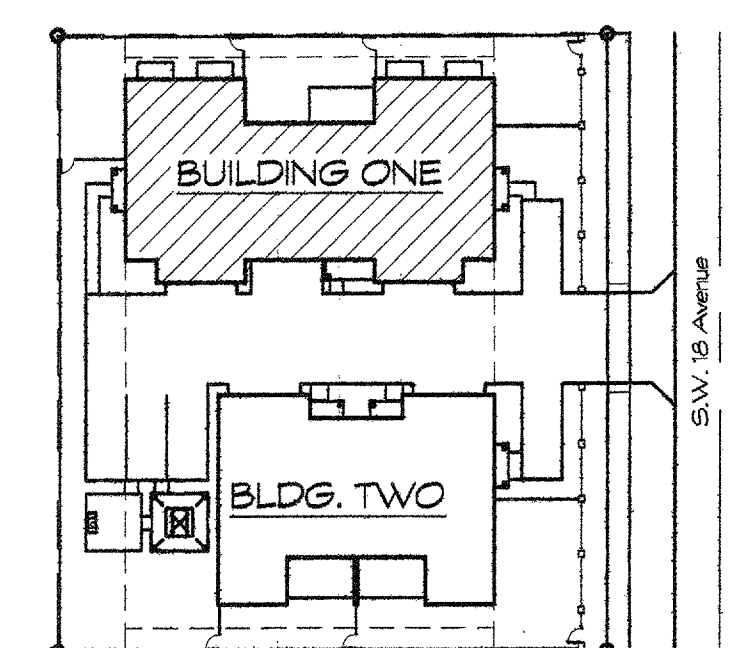
LEGEND:

- 1 CONCRETE TILE ROOF (PROVIDE PRODUCT APPROVAL AND SAMPLE FOR APPROVAL)
- 2 1x6 OVER 1x10 W.D. FASCIA (PAINTED)
- 3 5/8" SAND FINISH STUCCO
- 4 ANODIZED ALUMINUM BALCONY RAILING (SUBMIT SHOP DRAWINGS)
- 5 DECORATIVE WOOD SHUTTERS (PAINTED)
- 6 THINSET STONE VENEER W/ MORTAR & BRICK TIES
- 7 COACH LANTERN WALL LIGHT FIXTURE (ARCHITECT TO APPROVE SELECTION)

FT. LAUDERDALE U.L.D.R. SEC. 47-22.6 (GRADE)

THE GREATER OF:

1. THE NATURAL ELEVATION OF THE GROUND WHEN COMPARED TO ADJUTING PROPERTIES: (4.92' TO 6.07' N.G.V.D.) AVERAGE 5.50' N.G.V.D.
2. THE BASE FLOOD ELEVATION REQUIREMENT FOR THE LOWEST FLOOR PER F.E.M.A.: 7.0' N.G.V.D.
3. EIGHTEEN INCHES ABOVE F.E.M.A. BASE FLOOR ELEVATION FOR THE BOTTOM OF THE LOWEST HORIZONTAL STRUCTURAL MEMBER (L.H.S.M.): N.A.
4. EIGHTEEN INCHES ABOVE FLORIDA D.E.P. MINIMUM ELEVATION FOR THE BOTTOM OF THE LOWEST HORIZONTAL STRUCTURAL MEMBER (L.H.S.M.): N.A.



Location Sketch  
N.T.S.





Rear Elevation (South) / Building One

SCALE: 1/4" = 1'-0"



Left Side Elevation (East) / Building One

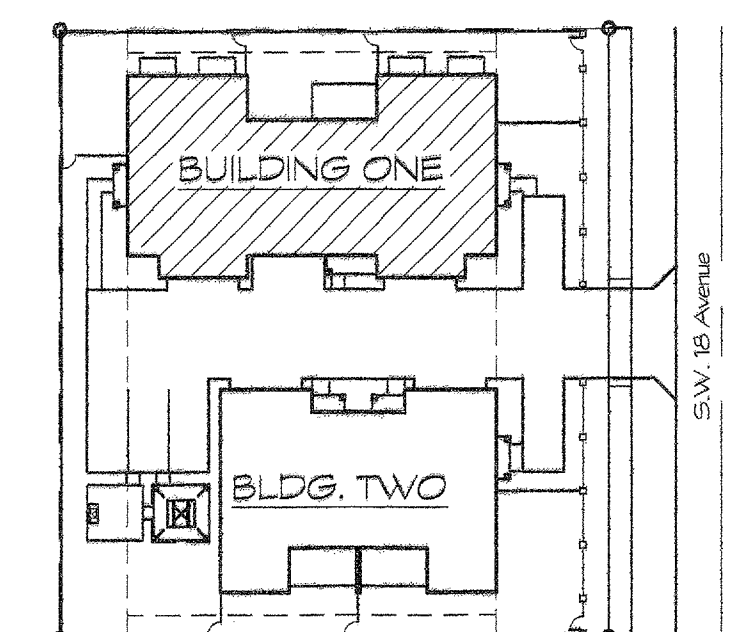
SCALE: 1/4" = 1'-0"

LEGEND:

- 1 CONCRETE TILE ROOF (SUBMIT PRODUCT APPROVAL AND SAMPLES FOR APPROVAL)
- 2 1x6 OVER 1x10 WD FASCIA (PAINTED)
- 3 5/8" SAND FINISH STUCCO
- 4 ANODIZED ALUMINUM BALCONY RAILING (SUBMIT SHOP DRAWINGS)
- 5 DECORATIVE WOOD SHUTTERS (PAINTED)
- 6 THINSET STONE VENEER w/ MORTAR & BRICK TIES
- 7 COACH LANTERN WALL LIGHT FIXTURE (ARCHITECT TO APPROVE SELECTION)

PT. LAUDERDALE U.L.D.R. SEC. 47-22.6 (GRADE)

THE GREATER OF:	
1. THE NATURAL ELEVATION OF THE GROUND WHEN COMPARED TO ADJUTING PROPERTIES:	( ) TO ( ) N.G.V.D. AVERAGE ( ) N.G.V.D.
2. THE BASE FLOOD ELEVATION REQUIREMENT FOR THE LOWEST FLOOR PER F.E.M.A.:	7.0' N.G.V.D.
3. EIGHTEEN INCHES ABOVE F.E.M.A. BASE FLOOR ELEVATION FOR THE BOTTOM OF THE LOWEST HORIZONTAL STRUCTURAL MEMBER (L.H.S.M.):	NA
4. EIGHTEEN INCHES ABOVE FLORIDA D.E.P. MINIMUM ELEVATION FOR THE BOTTOM OF THE LOWEST HORIZONTAL STRUCTURAL MEMBER (L.H.S.M.):	NA



Location Sketch  
N.T.S.



**CITY OF FORT LAUDERDALE**

## **DEVELOPMENT REVIEW COMMITTEE (DRC) COMMENT REPORT**

**Meeting Date:** June 9, 2015

**Project Name:** MSC Enterprises / MSC Cluster Homes

**Case Number:** R15025

**Request:** Site Plan Level III Review: Five (5) Unit Cluster Development

**Location:** 2360 SW 18<sup>th</sup> Avenue

**Zoning:** Residential Single Family / Duplex / Low Medium Density (RD-15)

**Land Use:** Medium High

**Project Planner:** Thomas Lodge

**Case Number:** R15025

**GENERAL COMMENTS:**

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

1. The Florida Building Code shall apply to the construction, alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures.
2. The City of Fort Lauderdale is a participating municipality in the National Flood Insurance Program (NFIP). The requirements specific to the City of Fort Lauderdale can be found in **Chapter 14 - FLOODPLAIN MANAGEMENT of the Code of Ordinances** and accessed at;
  - a. [https://www.municode.com/library/fl/fort\\_lauderdale/codes/code\\_of\\_ordinances?nodeId=COOR\\_CH14FLMA](https://www.municode.com/library/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA)

Please consider the following prior to submittal for Building Permit:

1. The Building Code in effect will be the date of application for the building permit. Each building will require a separate permit. The 2010 Edition of the Florida Building is currently in effect. However, on June 30<sup>th</sup> 2015 the Code will be updated to the 5<sup>th</sup> Edition. All work described in Section 101.2, of the Broward County Administrative portion of the Florida Building Code, will govern the administration and enforcement of the proposed work. The following websites will assist in the design considerations;
  - b. <http://www.fortlauderdale.gov/departments/sustainable-development/building-services>
  - c. [https://floridabuilding.org/dca/dca\\_fbc\\_default.aspx](https://floridabuilding.org/dca/dca_fbc_default.aspx)
  - d. <http://www.broward.org/codeappeals/pages/default.aspx>



**Case Number: R15025**

**CASE COMMENTS:**

**A. Please respond to Comments 1 through 11 prior to Pre P&Z sign off**

1. Meet the City's Adequacy requirements to services provided to the public (fire service, water, wastewater, stormwater, transportation, etc.), per ULDR Section 47-25.2 of the City's Code of Ordinances. Assess potential demands and impacts on City services and prepare a design for each that utilizes existing water, wastewater, stormwater, and transportation infrastructure to adequately serve this project. If adequate infrastructure is not available, prepare a design that extends/expands the connection to the nearest City system to adequately serve this development.
  - a. Prepare service demand calculations for water & wastewater services and obtain a letter of service availability from the City's Public Works – Engineering Department. Please contact Jorge Holguin at 954-828-5675 or [jholguin@fortlauderdale.gov](mailto:jholguin@fortlauderdale.gov).
  - b. Prepare & submit an application for a Developer Agreement (Water & Wastewater permit packages) with the Department of Sustainable Development. Coordinate the submittal through Alex Scheffer, P.E. – Urban Design Engineer at (954) 828-5123 or [ascheffer@fortlauderdale.gov](mailto:ascheffer@fortlauderdale.gov).
  - c. Coordinate all transportation related requirements with Alia Awwad, P.E. at (954) 828-6078 or [aawwad@fortlauderdale.gov](mailto:aawwad@fortlauderdale.gov) with the Transportation & Mobility Department to meet the Transportation aspect of the Adequacy requirements.
  - d. Coordinate the minimum Finished Floor Elevation approval with Richard Benton – City Floodplain Manager at (954) 828-6133 or [rbenton@fortlauderdale.gov](mailto:rbenton@fortlauderdale.gov).
2. Obtain approval from the Florida Department of Transportation (FDOT) for the Strategic Intermodal System (SIS) Program. The site plan shall be reviewed and approved by FDOT. Please contact Ms. Tammy Campbell at 954-777-4668 ([tammy.campbell@dot.state.fl.us](mailto:tammy.campbell@dot.state.fl.us)) to inquire whether the SIS approval is required for the proposed development.
3. Provide documentation from the Broward County Planning Council (BCPC) verifying whether the site requires platting/replatting. The documents from BCPC shall be submitted to the City's engineering reviewer. The BCPC may be contacted at (954) 357-6695.
4. A Traffic Impact Study may be required in accordance with ULDR Section 47-25.2.M.4 of the City's Code of Ordinances. For detailed information on methodology and procedures concerning the TIS, please contact Alia Awwad, P.E. (954) 828-6078 or [aawwad@fortlauderdale.gov](mailto:aawwad@fortlauderdale.gov).
5. Please be advised that any road cuts for utilities or curb cuts within 50' in the City Right-Of-Way shall be restored to full lane width, per City Code of Ordinances Section 25-108.
6. Evaluate the possibility of utilizing a sustainable stormwater approach with the possibility of utilizing sustainable practices (cisterns, pervious pavers, etc.) uses for landscaping along the streetscape, as well as utilizing pervious pavers in the City Right-Of-Way along S.W. 18<sup>th</sup> Avenue.
7. Please be advised that a Maintenance Declaration will be required for all improvements in the City Right-Of-Way, including but not limited to lighting, landscaping, special paving and stormwater improvements.
8. Discuss if pedestrian lighting is proposed, or if not, discuss the possibility of the addition of pedestrian lighting along S.W. 18<sup>th</sup> Avenue. Please contact the Case Planner for details to match the area.



9. All concrete sidewalks preferred with 5-foot (min.) width, 4-inch (min.) thickness, 6-inch (min.) thickness in driveway areas, and constructed to City specifications per ULDR Section 47-24.5.E.e.
10. Please prepare and submit the following exhibits which clearly define the following (as applicable):
  - a. Construction Phasing Exhibit
  - b. Right-Of-Way / Easement Dedication / Vacation Exhibit
  - c. Maintenance Agreement Area Exhibit
  - d. Revocable License Area Exhibit
11. Provide the ADA parking, access/driveway, and sidewalks/ramps in accordance with Chapter 553 of the Florida's Statutes, "Accessibility of Handicapped Persons" and latest edition of "Accessibility Requirements Manual" by Department of Community Affairs Florida Board of Building Codes and Standard and in accordance with American Disability Act (ADA).

**B. Respond to Comments 12 through 22 prior to Final DRC sign off**

12. Submit a signed and sealed survey showing all above ground improvements, utilities, rights of way dimensions and all easements. This survey shall be based on an a Standard Title Commitment issued by a title insurer licensed to do business in Florida or an Opinion of Title issued by an attorney admitted to the Florida Bar. The title commitment or Opinion of Title must have an effective date no more than thirty days prior to the date of submittal of the survey and must be certified to the City of Fort Lauderdale. Additionally, an affidavit shall be provided by the property owner attesting that there were no additional recordings of easements or encroachments from survey date to the final DRC sign off date.
13. Prepare and submit an erosion and sediment control plan. This plan shall be reviewed for the drainage impacts to adjacent properties, surrounding rights of way, stormwater facilities, and neighboring water bodies.
14. Prepare and submit the following civil engineering drawings, signed and sealed by a Florida registered professional Civil Engineer:
  - a. Paving, Grading, and Drainage Plan, including the sizes and dimensions of all stormwater infrastructure.
  - b. Water and Sewer Plan, including any existing water main, force mains, gravity mains, etc. (show all materials & pipe sizes on the plan). Please be advised that all water mains shall be constructed with DIP piping in the City Right-Of-Way.
  - c. Provide typical cross-sections and section profiles along all property lines, and show how the existing and proposed grades will tie to one another. Also, show spot elevations along the perimeter (property lines) on the paving and grading plan.
15. Provide an on-site drainage system along with storm runoff calculations (signed and sealed by a Florida registered professional engineer). The calculations shall show how the minimum road crown, the perimeter berm, and finished floor elevations are met and how the 25-year, 3-day storm event is maintained on site with zero discharge to right-of-way and adjacent properties. In addition, please note that the City does not allow connecting the on-site stormwater drainage system with those in the City's right-of-way.
16. Provide support data that this site meets the fire hydrant locations and distribution as per the NFPA Codes and Standards. Clearly show all existing and proposed fire hydrants and 500-foot radius of coverage area. In addition, please note that a fire hydrant shall be installed within 100 feet of the Fire Department Connection.
17. Show utilities on the landscaping plans for potential conflict.



18. Discuss the possibility of on-street parallel parking and the possibility of pervious pavers along SW 18<sup>th</sup> Avenue, fronting the proposed development.
19. Provide an aisle of 24-foot wide behind all 90-degree parking spaces in accordance with ULDR Section 47.20.11.A.
20. Sheet SP-1 is misleading, since sidewalk along SW 18<sup>th</sup> Avenue is called out as existing (but it doesn't exist).
21. Discuss disposition of existing storm drainage inlet located adjacent to existing SW 18<sup>th</sup> Avenue pavement edge, fronting the proposed development; including possible replacement/relocation of inlet to help make the area more pedestrian friendly.
22. Adjust proposed Retention Area locations as appropriate to avoid conflict with existing trees slated to remain.

**B. Respond to Comments 23 through 37 prior to Engineering Permit Approval**

23. The applicant shall verify that there are no easements or other instruments of record which impact the Engineering Department's ability to permit this site plan. In the event such instruments exist and are recorded in the office of records, Broward County, FL, the owner risks delay or denial of the building permit.
24. Please be advised that all proposed improvements within or adjacent to the City's right-of-ways are subject to issuance of permit from the City, as well as the execution of an agreement that may authorize the City for removing those improvements for any public purpose in the future. In addition, please note that a maintenance agreement shall be executed with the City acknowledging that the Applicant will maintain all the facilities, landscaping, and hardscaping improvements within the City's right-of-way.
25. Obtain a Transportation Concurrency Satisfaction Certificate from the Broward County Planning and Environmental Regulation Division (BCPERD). Please contact Evangeline Kalus at (954) 357-6632 or [EKalus@broward.org](mailto:EKalus@broward.org) at BCPERD to determine whether the project is subject to the Transportation Concurrency Fees. In addition, please contact Pierre Dogniaux with the Broward County Transit Division at (954) 357-8304 to determine what (if any) improvements are suggested to ensure mobility needs are adequately met for this proposed site.
26. Obtain a general or surface water management license from the Broward County Environmental Protection & Growth Management Division (BCEPGMD). Route certified calculations with Paving & Drainage plans to engineering reviewer.
27. Verify the means for the demolishing the existing structures on the property so that appropriate timely notice and coordination can be executed with the City Public Works Utilities, and franchise utility companies to control the impacts from the demolition. Please be advised that a permit is required for demolishing work activities.
28. Prepare an appropriate staging plan, which includes phasing and information regarding the site layout of the temporary construction measures. The purpose of this plan is to identify the temporary construction measures that will be used to protect the general public, adjoining properties, and minimize the impact of the construction on neighboring transportation system, landscaping, right-of-way encroachments, and businesses. The items to be addressed by the staging plan shall include but not limited to the following:
  - a. Submit a Construction Phasing Plan clearly depicting the phasing of construction if applicable. The plan shall show the following:
    1. Include a narrative for each phase along with roadways utilized for materials delivery



2. Clearly show boundaries of the site, dimensions and names of all streets and alleys, direction of travel, bike lanes, on-street parking and sidewalks
  3. Show location of Job trailers or construction offices for the staff, general contractor, and subcontractors with Finished Floor Elevations
  4. Show location, type and size of temporary construction fencing, including locations of gates and gate swing radii. If corners of fence correspond with cross streets, propose a fence boundary that will not obstruct sight lines for motor vehicles
  5. Show location and type of construction crane(s), including span radius
  6. Indicate location and number of portable rest rooms, dumpsters, and trash chutes
  7. Show location of the Fire Department Connection during construction and a water supply (hydrant) in accordance with N.F.P.A.1, Chapter 29
  8. Show location of any sidewalk to be closed or protected as required by Chapter 33 of the Florida Building Code
  9. Indicate location and time frame of any street closures (part or all of street) with a detour signage plan meeting MUTCD standards, prepared by a Certified Traffic engineer or technician. Please be advised that the City Commission approval will be required for detours and street and sidewalk closures lasting over 72 hours, and the said approval may take eight (8) weeks or more
  10. Show all existing parking spaces that may be affected by the construction (or construction phasing) and indicate all parking spaces that would be included within proposed construction boundaries for each phase
  11. Show location of parking for inspectors and construction personnel. Include all off site parking- location, period of lease and number of spaces leased. If shuttle will be provided between parking and job site – give shuttle schedule and show route of shuttle
  12. Show loading/unloading areas for material delivery to include entry and exit path of vehicles without backing into street
  13. Show routes that delivery trucks will be instructed to follow when traveling to and from the site. All efforts should be made to avoid residential and/or small, merchant lined streets. This may be shown on a separate drawing, prepared at an appropriate scale in order to illustrate route through the City
  14. Indicate where and how concrete trucks will stage during multiple yardage pours
  15. Provide an Erosion Control Plan and show location and type of silt fencing for dust control along with measures for erosion control against material leaving site from vehicular traffic
  16. Indicate the locations of storm inlets. If physical measures will be taken to protect inlets, illustrate these on the Erosion Control Plan
  17. Show locations of truck wash-off area and procedures, including tires and concrete chutes
  18. Indicate schedule for rout line street sweeping of periphery of construction site
  19. Indicate if dewatering is proposed.
29. Obtain a dewatering permit from the Broward County Environmental Protection Dept. (EPD). This permit is required only if the site is within 1/4 mile of a known contamination site. The EPD contact is David Vanlandingham ([dvanlandingham@broward.org](mailto:dvanlandingham@broward.org) or 954/519-1478). He prefers to be notified via email for the quickest response. You can view their standard operation procedures for dewatering at [http://www.broward.org/pprd/cs\\_dewatering.htm](http://www.broward.org/pprd/cs_dewatering.htm).
30. Apply and obtain a SFWMD dewatering permit activities if off-site discharge is anticipated. Any planned activity that requires dewatering needs to be reviewed by SFWMD. In many cases, this could involve an email to SFWMD that include a description of the activity. If no permit is required, SFWMD will let you know. The SFWMD contact person is Steve Memberg ([smemberg@sfwmd.gov](mailto:smemberg@sfwmd.gov)).
31. Contact the Broward County Transit to determine whether the project is within the Transportation Concurrency Exception Area (TCEA) and subject to road impact fees. The City's Transportation Element requires developers within the TCEA to meet with and include the Broward County Transit representatives in proposed enhancements or improvements to their systems. Please contact Pierre Dogniaux (B.C. Transit) at 954-357-8304 to determine what (if any) improvements are suggested to ensure mobility needs are adequately met for this proposed site.



32. Pay capital expansion fees for water and wastewater treatment, distribution, and disposal at the rate identified in Ordinance C-05-21. The fee will be calculated based on Equivalent Residential Connections (ERC's). Provide a calculation for existing and proposed ERC's for approval by Urban Design Engineer. Impact fees shall be paid prior to the issuance of the building permit.
33. Resolve the minimum standards for the State of Florida Notice of Intent (FAC 62-621.300(4)(b)) per the Florida Department of Environmental Protection (FDEP) criteria. Notice is required for sites of one (1) acre or larger site area with the potential for discharge of sediments to surrounding surface waters or drainage systems which discharge indirectly to those surface waters as classified or otherwise identified in the Florida Administrative Code (FAC). Therefore, the Applicants whose projects disturb one or more acres of soil or whose projects disturb less than one acre but are part of a larger common plan of development that in total disturbs one or more acres, are required to obtain coverage under the General Permit for Discharges of Storm Water Associated with Construction Activity.
34. Please note that any lighting onsite or in the City's right-of-way (ROW) or both, shall be approved and authorized by the City's Engineering and /or Building (Electrical Staff) Department. Any lighting placed in the ROW shall be powered by an approved lighting circuit from the proposed development or FPL source, and will require an engineering permit. Any new lighting system powered by private source shall require a revocable license agreement with the City along with a "disconnect" that shall be accessible by Facilities Maintenance staff in or near the right of way. Please contact the Facilities Maintenance office, David Smith at (954) 828-6560, for information concerning the lighting within the City's Right-Of-Way.
35. Obtain an engineering permit before installing, removing, or relocating poles (lighting or electrical) within the City's right of way. Permanent or temporary relocations or removals shall be reviewed and approved by the City.
36. Please discuss with City Public Works Department - Utilities, Rick Johnson at (954) 828-7809, concerning the proposed methods of noise, vibration, and odor mitigation.
37. Elevations shown in plans should reference same vertical datum (NAVD – North American Vertical Datum) as boundary & topo survey.

**Case Number:** R15025

**CASE COMMENTS:**

Please provide a response to the following:

1. Buildings need fire sprinklers with FDC location. FDC must be with-in 100 feet of fire hydrant. Per FBC 903.2.11.3.1 Three units, three stories.



**Case Number: R15025**

**CASE COMMENTS:**

Please provide a response to the following:

1. Provide updated tree survey or tree plan and a corresponding list of all existing trees and palms. This is to include tree number, botanical name, common name, overall height, trunk DBH for trees, clear trunk for palms, condition %, and status for each existing tree and palm on site.
2. Provide mitigation calculations for replacement tree requirements. Confirm that mitigation is being met on site. Reference Landscaping & Trees subheading at <http://www.fortlauderdale.gov/departments/sustainable-development/building-services/building-permits> for permit, calculation, and document downloads.
3. The existing trees on site stated to remain appear to be in conflict with proposed drainage and parking areas. Please confirm location and revise to avoid conflicts.
4. Update and provide landscape data illustrating required vs. provided plant material for vehicular use area landscaping, pervious area calculations, etc.
5. Place plant materials in hydrozones which correspond to irrigation volume.
6. The planters in the drive isles do not contain minimum soil volume for proposed trees, and appear to be in conflict with the roof overhang.
7. If on street parallel parking is to be provided, illustrate bum-outs for required street trees.
8. Light pole locations are not to be within 15' of tree locations. Note this on photometric, electrical, site and landscape plans to help avoid conflicts during construction.
9. Confirm with civil and life safety plans that utilities are not causing conflicts with proposed landscaping. Where conflicts exist, shift the utility.
10. Fences facing the street are required to be planted with continuous hedges, shrubs, groundcover, and trees. These plantings shall be planted between the street and the property line as per ULDR 47-19.5C.
  - a. Hedges and shrubs may be 2' tall planted 2' apart.
  - b. Groundcover may be 6" tall planted 6" apart.
  - c. Trees may be standard or flowering at 10' tall, or palms at 8' clear trunk, planted an average of 1 tree per 20' or portion thereof.
  - d. Please specifically note and illustrate this on plans.

**GENERAL COMMENTS:**

Please consider the following prior to submittal for Building Permit:

11. A separate sub-permit application for Tree Removal and Relocation is required at time of master permit submittal.
12. A separate sub-permit application for General Landscaping is required at time of master permit submittal.
13. Provide irrigation plan illustrating an automatic system which provides head-to-head coverage and rain sensor shut off device. This is to include the rights-of-way areas.

**Case Number: R15025**

**CASE COMMENTS:**

Please provide a response to the following:

- 1) The applicant is strongly encouraged to contact neighbors adjacent to, as well as condominium and neighborhood associations located within three hundred feet (300') of the development site, to advise of this proposal (a listing of officially-recognized neighborhood associations is provided on the City's website: <http://www.fortlauderdale.gov/neighborhoods/index.htm>). Please provide acknowledgement and/or documentation of any public outreach.
- 2) The site is designated Medium Residential on the City's Future Land Use Map. The proposed use is permitted in this designation. This is not a determination on consistency with Comprehensive Plan Goals, Objectives and Policies.
- 3) The proposed project requires review and approval by the Planning and Zoning Board (PZB). A separate application and fee is required for PZB submittal, and the applicant is responsible for all public notice requirements (Sec. 47-27). In addition, the development permit shall not take effect nor shall a building permit be issued until thirty (30) days after approval, and then only if no motion is adopted by the City Commission seeking to review the application.
- 4) Please note that pursuant to the recent passing of an ordinance outlining Public Participation requirements of Unified Land Development Regulations (ULDR) Sec. 47-27.4.A.2.c., prior to submittal of the application to the Planning and Zoning Board (PZB), a notice from the applicant via letter or e-mail shall be provided to official city-recognized civic organization(s) within 300 feet of the proposed project, notifying of the date, time and place of applicant's project presentation meeting to take place prior to the PZB meeting.

The applicant shall then conduct a public participation meeting(s) a minimum of 30 days prior to the PZB. This date and location of the meeting is at the discretion of the applicant. Once the meeting(s) is/are conducted, the applicant shall provide a written report letter to the Department of Sustainable Development, with copy to subject association(s), documenting the date(s), time(s), location(s), number of participants, presentation material and general summary of the discussion after a public participation meeting(s). The report letter shall summarize the substance of comments expressed during the process and shall be made a part of the administrative case file record.

The applicant shall, ten (10) days prior to the PZB, execute and submit to the department an affidavit of proof of public notice according to this section. If the applicant fails to submit the affidavit, the public hearing will be postponed until the next available hearing date after the affidavit has been supplied.

- 5) To address Cluster Development requirements:
  - a) Lower proposed fence from six-feet to four-feet to prevent a walled effect along the street and create more visibility and presence;
  - b) Provide an access easement over driveway area as required per Sec. 47-18.9.C.3;
  - c) Locate A/C units on individual rooftops and screen appropriately to address requirement of individual ownership. Provide elevation plans indicating A/C units are concealed from view pursuant to ULDR Sec. 47-19.2.Z.
- 6) Foot candle readings on the photometrics plan shall extend to all property lines.
- 7) The site plan shows an existing five-foot sidewalk. It appears that a sidewalk is not currently constructed adjacent to your site on SW 18 Avenue. Please provide and label accordingly.



- 8) Please continue the proposed façade treatment that is currently shown on the north and south facades along the street and rear facing facades.
- 9) Incorporate on-street parking with bulb-outs for shade trees along SW 18 Avenue to improve the streetscape environment, while providing additional guest parking. Eliminate the two proposed surface parking spaces located in the front yard, where the area can be better utilized for landscape material, open space, visibility and access to units, and be more in context with the character of the residential area. Discuss bulb outs and shade tree placement in the swale with the Engineering and Landscape Representatives.
- 10) Dimension the parking spaces inside of the garages.
- 11) Consider moving the bicycle racks to a covered location closer to the proposed buildings. Consider having a bike rack close to each of the proposed buildings.
- 12) Please provide a detail of the BBQ grill and show the dimension to the rear property line.
- 13) This project is subject to the requirements of Broward County Public School Concurrency. The City will notify the School Board Superintendent or designee of this proposal. Prior to submitting an application for placement on a PZB or City Commission agenda, a written response from the School Board shall be provided by the applicant. Prior to application for final DRC approval, please provide confirmation from the School District that the residential development is exempt or vested from the requirements of public school concurrency, or a School Capacity Availability Determination (SCAD) letter that confirms that capacity is available, or if capacity is not available, that mitigation requirements have been satisfied.
- 14) Please provide total park impact fee amount due. Park impact fees are assessed and collected at time of permit per each new hotel room and dwelling unit type. An impact fee calculator can be found at: [http://ci.ftlaud.fl.us/building\\_services/park\\_impact\\_fee\\_calc.htm](http://ci.ftlaud.fl.us/building_services/park_impact_fee_calc.htm).
- 15) The City's vision is to support sustainable infrastructure. Consider employing green building practices throughout the project including, such as, but not limited to charging stations, tankless water heaters, rain collection systems, pervious on-street parking, bio-swales, Florida Friendly™ plant materials, solar panels and green roofs.

#### **GENERAL COMMENTS:**

1. An additional follow-up coordination meeting may be required to review project changes necessitated by the DRC comments. Prior to routing your plans for Pre-PZ Board sign-off, please schedule an appointment with the project planner (call 954-828-8981) to review project revisions and/or to obtain a signature routing stamp.
2. If a temporary construction/sales trailer is needed for this project, provide the details and location of the trailer on a separate site plan, to avoid additional review in the future. Verify details and location with the Building Representative.
3. Additional comments may be forthcoming at DRC meeting.
4. Provide a written response to all DRC comments within 180 days or additional DRC review may be required.

**Case Number:** R15025

**CASE COMMENTS:**

Please provide a response to the following:

NONE – Signature IS NOT required.

**GENERAL COMMENTS:**

The following comments are for informational purposes.

1. Site plans note the following security features:  
All glazing to be impact resistant.
2. All dwelling units shall be pre wired for panic, perimeter, glass break, and motion alarm systems.
3. Security system activation and monitors shall be by individual homeowners.
4. All sliding or French doors shall have a secondary locking mechanism
5. All ground floor entrances shall have support lighting
6. The landscaping shall not interfere with the owner's surveillance of this open area.
7. All unit entry doors shall be impact glazed allowing clear outdoor observation.
8. The property shall be fenced on three sides with solid vinyl fencing. The fourth side shall be fenced with open metal pickets.
9. Gazebo area shall be properly illuminated without landscape interference.
10. Garage entrance court shall be illuminated to city standards.
11. All contractors are advised to take the steps necessary to protect their property while on site.



**Case Number: R15025**

**CASE COMMENTS:**

Please provide a response to the following:

1. Garbage, Recycling and Bulk Trash shall be provided.
2. Recycling reduces the amount of trash your complex creates and it is the best way to reduce monthly waste disposal costs and improve your company's bottom line. Adequate space should be provided within dumpster enclosure to accommodate wheeled recycling carts.
3. Solid Waste Services shall be provided by a Private Contractor licensed by the City
4. Service Days shall be: No restriction for Commercial collection.
5. Solid Waste charges shall be collected in monthly lease with Sanitation account for property under one name.
6. Solid Waste Collection shall be on private property. Container shall not be placed, stored or block the public street to perform service (large multifamily and commercial parcels).
7. Ensure **site plan** clearly indicates (labeled) locations of all solid waste and recycling containers and/or compactor(s) for all uses as proposed in application. Identify containers. Please indicate if the containers will be inside the garage and how many containers will be allowed per unit.
8. Provide on the site plan a garbage truck turning radii for City review. Drive aisle width and design configuration must allow for safe and efficient maneuverability on-site and off-site. Indicate how truck will circulate to/from/within property.
9. Consult DRC Engineering staff to ensure adequate vehicle height and width clearance, configuration for accessibility to containers, and to confirm circulation standards are met.
10. Containers: must comply with 47-19.4.
11. Submit a Solid Waste Management Plan on your letterhead containing name of project, address, DRC case number, number of units if applicable, and indicate whether is Pre or Final DRC.
  - Letter should be created on formal letterhead describing what services are to be provided for solid waste and recycling including:
    - Type and size of containers, frequency of service, service provider if known; and
    - Any additional details such as: container type(s), on-site handling and logistics for waste and disposal, specific dimensions as needed (e.g. compactor side and height clearance for haulers' accessibility).
  - This letter is to be approved and signed off by the Sustainability Division, and should be attached to your drawings. Please email an electronic copy to [gmaldonado@fortlauderdale.gov](mailto:gmaldonado@fortlauderdale.gov). Letter should include an analysis of the expected amounts of solid waste and recyclables that will be generated (if different from current capacity), and container requirements to meet proposed capacity.

- Community Inspections will reference this Solid Waste Plan for sanitation compliance issues at this location.

**GENERAL COMMENTS:**

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC: None



**Case Number: R15025**

**CASE COMMENTS:**

1. Please provide bicycle storage in the garages. Indicate this storage on the site plan.
2. Do not provide on-street parking along SW 18<sup>th</sup> Ave.
3. Provide a small back-out area for the guest spot at the rear of the development.
4. Ensure adequate walking area around guest parking spaces with tree maturity.
5. Ensure all sidewalks and curb cuts are unobstructed and ADA accessible.
6. Additional comments may be provided upon further review.
7. Signature required.

**GENERAL COMMENTS:**

Please address comments below where applicable.

1. Contact Eric Houston at 954-828-5216 or [ehouston@fortlauderdale.gov](mailto:ehouston@fortlauderdale.gov) to set up an appointment for final plan approval.
2. The City's Transportation & Mobility Department encourages the use of sustainable materials such as permeable pavement and electric car charge stations and installation of multimodal facilities such as bicycle pump stations and bike lockers.

